



FOR SALE/TO LET

11 Michelin Road, Mallusk BT36 4PT

MODERN WAREHOUSE WITH ANCILLARY OFFICE ACCOMMODATION
EXTENDING TO APPROXIMATELY 9,370 SQFT

Property outline for indicative purposes only



Commercial Real Estate
From every angle

11 Michelin Road Mallusk BT36 4PT

**MODERN WAREHOUSE
WITH ANCILLARY OFFICE
ACCOMMODATION EXTENDING
TO APPROXIMATELY 9,370 SQFT**

Features

Self-contained warehouse and office accommodation on a secure gated site

Positioned in one of Northern Ireland's premier industrial locations

Close proximity to M2 motorway network, major airports and Belfast port

Eaves height of approximately 6m rising to 7.7m apex

LOCATION

The property is located on Michelin Road in Mallusk, one of Northern Ireland's most established industrial and commercial locations. The area benefits from excellent accessibility, with the M2 motorway at Sandyknowes located nearby, providing convenient links to Belfast (8.5 miles) and the wider motorway network.

Mallusk is a proven location for warehouse, trade counter, light industrial and distribution occupiers, with a strong surrounding business base and good access for staff, customers and commercial traffic. Belfast Harbour, Belfast International Airport and the wider Greater Belfast area are all within convenient driving distance.

Occupiers in the vicinity include DHL, Sunbelt Rentals, Rico Logistics, NK Coatings, European Prestige and Firmus Energy.

DESCRIPTION

The property comprises a self-contained warehouse and office facility of steel portal frame construction, with elevations finished in a combination of brickwork and profile metal cladding. The warehouse benefits from 6 metre eaves, concrete floor, translucent roof lights and electric roller shutter loading doors of approximately 4.3 metres, making it suitable for a range of storage, distribution, light industrial or trade counter uses. An element of mezzanine storage is also included, which can be removed or left in situ.

The office accommodation is well presented throughout and arranged to provide a mix of cellular and open-plan

space which can be easily reconfigured, comprising suspended ceilings, carpeted floors, recessed lighting, perimeter power and air conditioning. The property also benefits from 3 phase power together with a 54 kVA backup generator, providing additional resilience for occupiers with operational power requirements.

Externally, the property sits within a secure gated site, with a concrete yard/loading area and dedicated on-site car parking to the front and side of the building.



Property outline for indicative purposes only



Warehouse



Boardroom



Typical Office



Warehouse

ACCOMMODATION

| DESCRIPTION | AREA SQM | AREA SQFT |
|---------------------|---------------|--------------|
| Warehouse / Storage | 452.06 | 4,866 |
| Warehouse Mezzanine | 75.25 | 810 |
| Reception | 28.29 | 305 |
| Boardroom | 22.02 | 237 |
| Kitchen | 24.49 | 264 |
| 1F Offices | 301.79 | 3,248 |
| Total | 903.90 | 9,730 |

TITLE

We understand the property is held by way of freehold or long leasehold title.

RATES PAYABLE

| | |
|-------------------------|------------|
| NAV: | £29,400 |
| Rates Pounding 2026/27: | 0.605291 |
| Rates Payable: | £17,795.56 |

PRICE

Inviting offers over £650,000, exclusive.

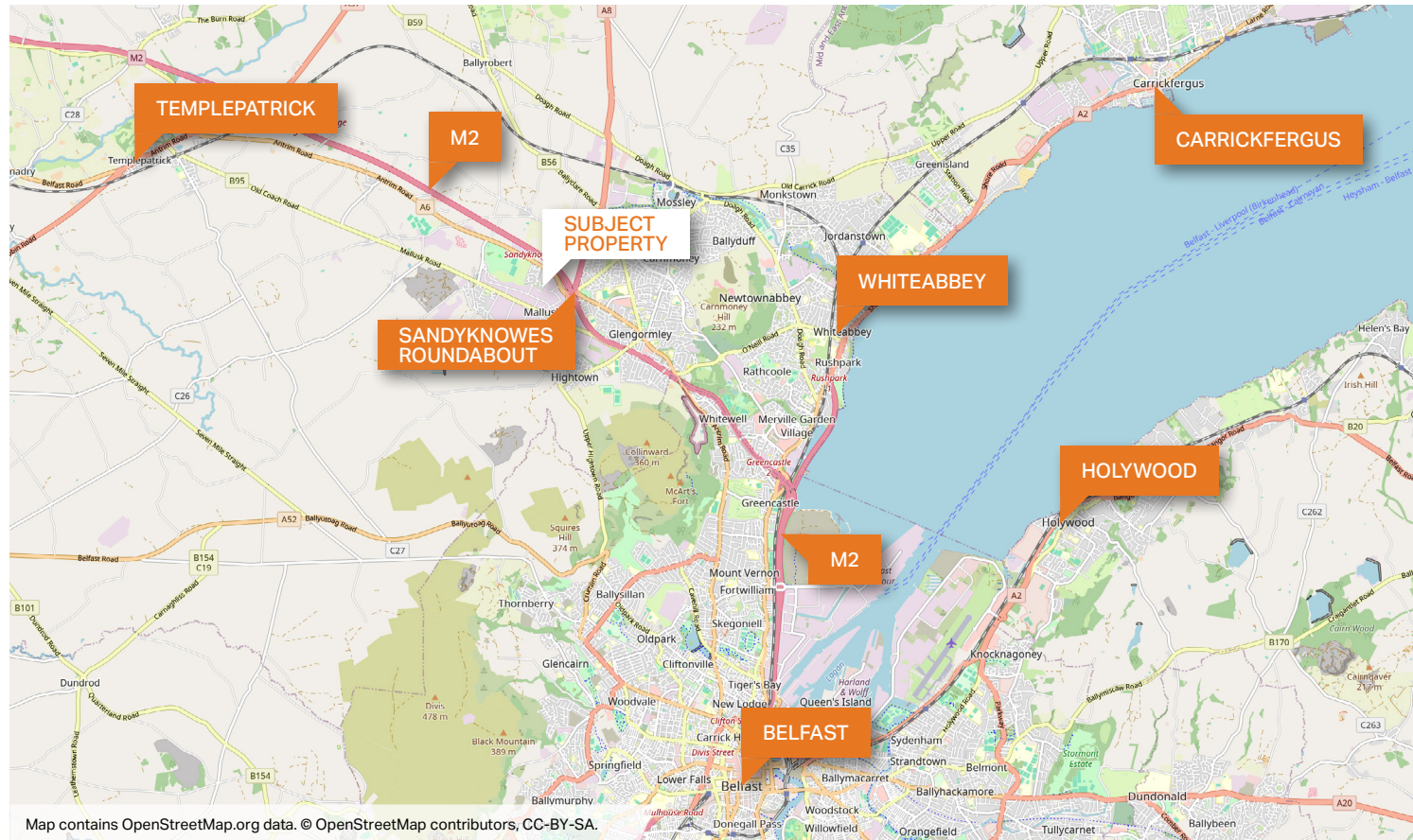
LEASE DETAILS

Rent
£60,000

Term
Negotiable

Repairs & Insurance
Full Repairing & Insuring

LOCATION



VAT

All prices, outgoings and rentals are exclusive of, but may be liable to VAT.

STAMP DUTY

Stamp duty will be the liability of the purchaser.

EPC

The property has an Energy Efficiency rating of 56C. The full Certificate can be made available upon request.

| SCORE | ENERGY RATING | RATING |
|---------|---------------|------------------------------------|
| <0 | A+ | Net zero CO ₂ emissions |
| 0-25 | A | |
| 26-50 | B | |
| 51-75 | C | 56 C |
| 76-100 | D | |
| 101-125 | E | |
| 126-150 | F | |
| >150 | G | |

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Commercial Real Estate
From every angle

FOR MORE INFORMATION

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VIEWING

Viewing is strictly
by appointment
with the sole agent
Ambit CRE

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